



ADDENDUM NUMBER 1

**April 22, 2025
Request for Proposal (RFP)
Clybourn & Larrabee Redevelopment
Event Number 3277
Proposal Due Date: Tuesday, May 27, 2025, at 1:00 p.m. Central Time
Chicago Housing Authority
Department of Procurement and Contracts
60 East Van Buren, 8th Floor
Chicago, IL 60605**

Receipt of this Addendum is to be acknowledged by the Contractor by signing, dating and submitting with the Proposal. Failure to do so may render the Proposal non-responsive.

The following revisions, clarifications, additions and/or deletions are included in this Addendum to Solicitation No. 3277 and are to be fully incorporated into Respondent's Response therein.

Respondent acknowledges receipt of Addendum: _____
Respondent's Signature Date

Item Number 1: UPDATE TO ATTACHMENT B

Attachment B has been updated to include HUD Form 5370C.

Item Number 2: ADDITION OF EXHIBIT VII AND EXHIBIT VIII

The following documents have been added as exhibits to the RFP:

- Exhibit VII – As-Built Drawings
- Exhibit VIII - Survey

Item Number 3: ARTICLE V, ITEM P

Article V, Item P on Page 21, list was updated to include Item I. HUD Form 5369.

Item Number 4: QUESTION AND ANSWERS

1. Is Section 3 Applicable?

Answer: Yes, Section 3 participation, is required as outlined.

2. What are the requirements for participating as a contractor?



Answer: All respondents must meet the requirements outlined in the RFP.

3. Can we encrypt the financial documents with a passcode?

Answer: Yes. The password must be emailed upon CHA request.

4. Where can I find details about the partnership with the community group?

Answer: More details about the community groups and their engagement can be found by visiting:

Near North Unity Program - <https://nnup.org/>

Local Advisory Council - <https://www.mycac.org/>

Near North Working TIF -

https://www.chicago.gov/city/en/depts/dcd/supp_info/tif/near_north_tif_.html

5. Do we need to upload the financials for everyone, or just the Developer?

Answer: Financials for the entity entering into the agreement must be provided.

6. Who is included in the working group?

Answer: This information is not publicly available at this time.

7. Please provide a copy of the consent decree and agreed order

Answer: *Please reference Exhibits IV Consent Decree 2000 and Exhibit V Agreed Order 2015 in the solicitation.*

8. Can not-for-profit agencies submit a proposal? What are the requirements?

Answer: *Yes, not-for-profit agencies can submit proposals, provided the response meets the solicitation requirements outlined in the RFP.*

9. Article V Section P-D the Submittal Requirement Checklist is not provided on the website, confirm if this is Attachment B or if a difference checklist should be used

Answer: *Yes, the submittal requirement checklist is the Attachment B Vendor Submission Checklist.*

10. Article V Section P. Exhibits G and H are not listed under Attachment B will the attachment B be updated to include them?

Answer: *Please see item 1 of this addendum. Exhibit G-Economic Disclosure*



Statement/Affidavit is the 15th item on Attachment B. Attachment B has been updated to include HUD Forms 5370C.

11. "Attachment B

Diversity Goals states to respond to (3) questions in Article V Section Q. Section Q doesn't appear within Article V. Please provide section Q."

***Answer:** Please see item 1 of this addendum. Attachment B has been updated to remove this requirement.*

12. Attachment D has a note to 'Refer to Microsoft Excel' please provide copy of the excel file being reference.

***Answer:** Attachment D Utilization Plan must be downloaded from <https://www.thecha.org/contracting-opportunities/forms-and-documents>.*

13. Can CHA provide the full scope or drawings related to the demolition of the school? Were there any parts of the school left in place (utilities, foundations)?

***Answer:** Please see item 2 of this addendum.*

14. Is there a digital plat of survey of the site and surrounding streets that is available?

***Answer:** Please see item 2 of this addendum.*

****** END OF ADDENDUM NO. 1******

Chicago Housing Authority

Sheila Johnson

Sheila Johnson
Deputy Chief of Procurement

ATTACHMENT B**VENDOR SUBMISSION CHECKLIST**

INITIAL NEXT TO EACH DOCUMENT BEFORE SUBMITTING.

INITIAL	RFP SUBMISSION REQUIREMENTS
	Electronic Format
	Cover letter
	Executive Summary
	Letter of Intent to Submit Proposal
	Qualifications & Experience
	Approach /Work Plan
	Past Performance (min of 3, max of 5)
	References (3 current) (Attachment C)
	Organization Structure & Key Personnel
	Certificate of Insurance Requirements
	Joint Venture Agreement
	Liens, Suits, & Judgements
	Audit Findings & Other Compliance Reports/Evaluations
	Debarment Statement
	Economic Disclosure Statement & Affidavit
	Vendor Submission Checklist
	Contractor's Affidavit
	Statement of Bidders Qualification
	HUD Form 5370 or 5370C
	Contract Compliance Certification
	Utilization Plan (UP) M/W/DBE and Section 3 Businesses (Attachment D)
	Letter of Intent - MWDBE and Section 3 Subs
	Waiver Request – M/W/DBE Participation Commitments (if applicable)
	HUD Form 5369-A
INITIAL	MISCELLANEOUS DOCUMENTS/CORRESPONDENCE

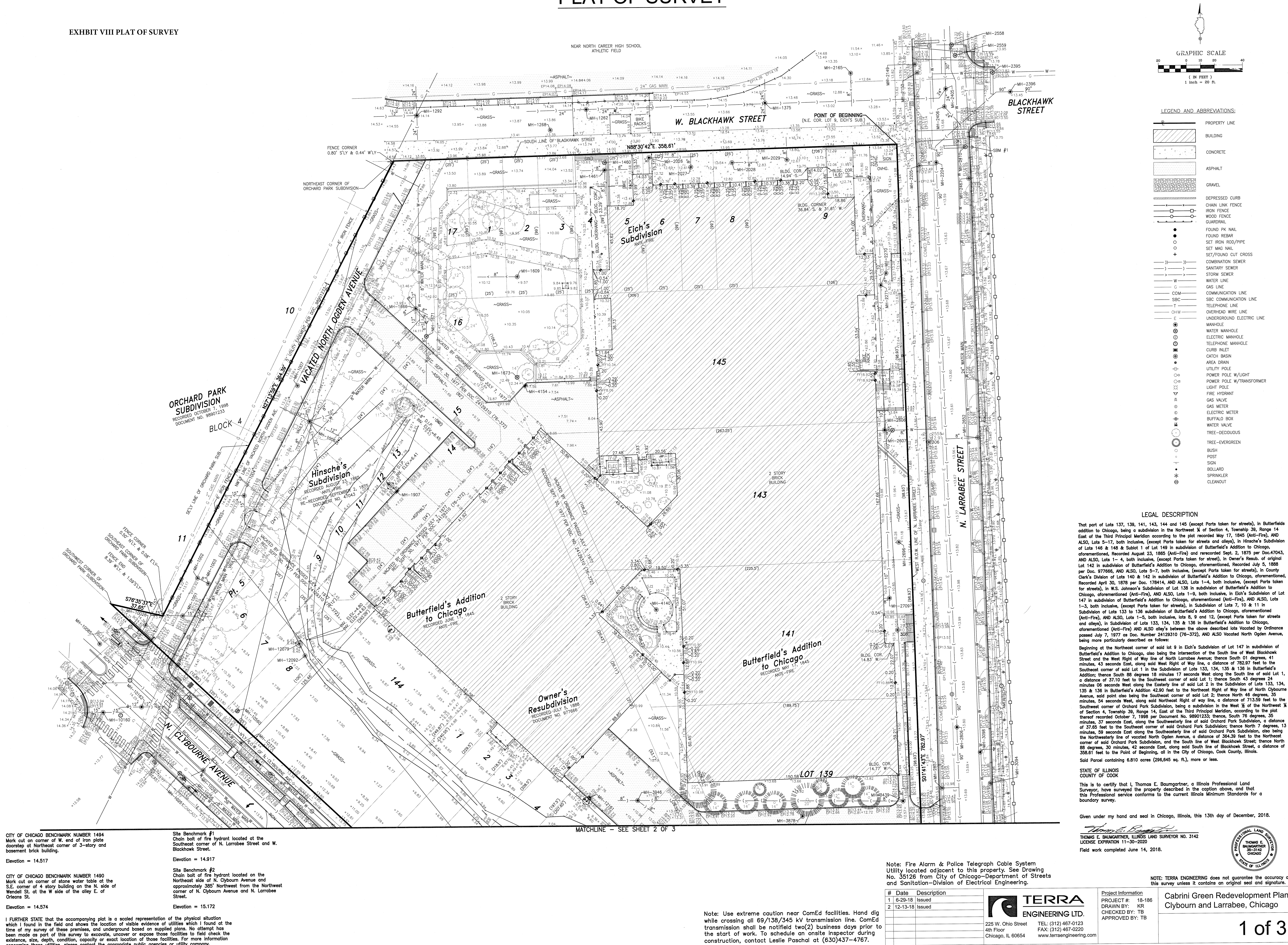
VENDOR SIGNATURE: _____ DATE: _____

SIGNATURE OF RECEIPT: _____ DATE: _____

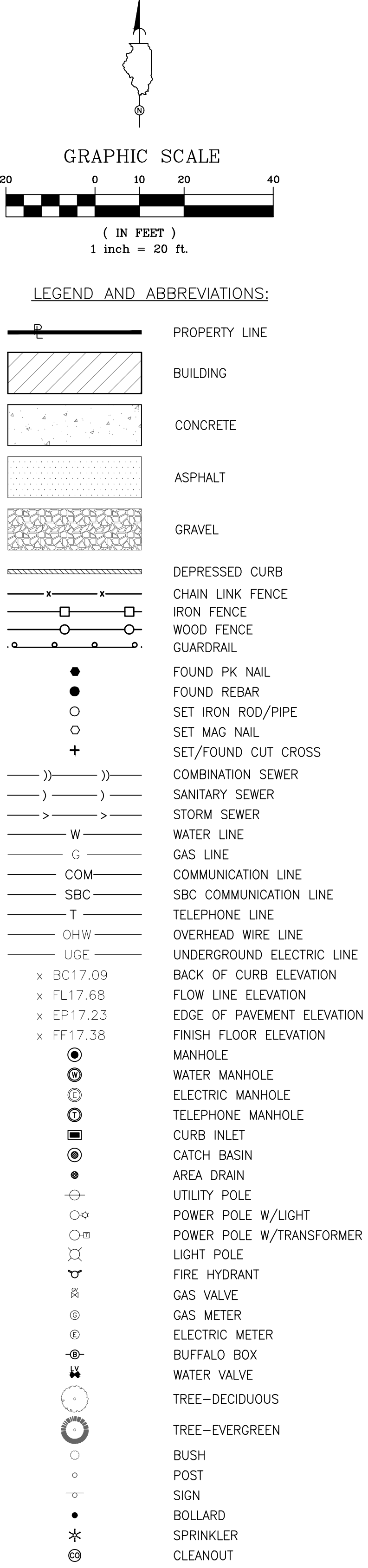
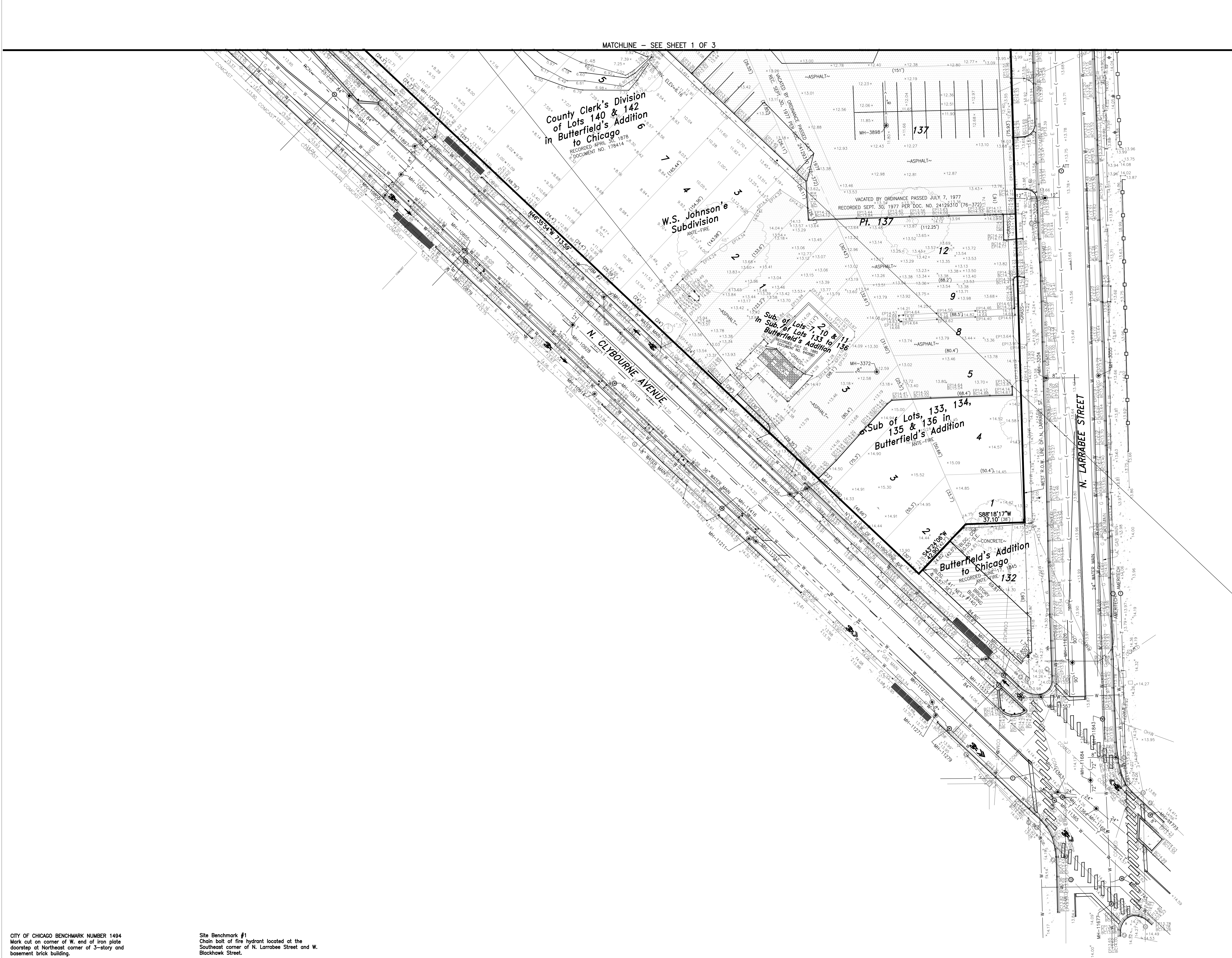
[For CHA Only]

PLAT OF SURVEY

EXHIBIT VIII PLAT OF SURVEY



PLAT OF SURVEY



CITY OF CHICAGO BENCHMARK NUMBER 1494
Mark cut on corner of W. end of iron plate
doorstep at Northeast corner of 3-story and
basement brick building.
Elevation = 14.517

CITY OF CHICAGO BENCHMARK NUMBER 1490
Mark cut on corner of stone water table at the
S.E. corner of 4 story building on the N. side of
Wendell St. at the W side of the alley E. of
Orleans St.
Elevation = 14.574

Site Benchmark #1
Chain bolt of fire hydrant located at the
Southeast corner of N. Larrabee Street and W.
Blackhawk Street.
Elevation = 14.917

Site Benchmark #2
Chain bolt of fire hydrant located on the
Northeast side of N. Clybourn Avenue and
approximately 385' Northwest from the Northwest
corner of N. Clybourn Avenue and N. Larrabee
Street.
Elevation = 15.172

I FURTHER STATE that the accompanying plat is a scaled representation of the physical situation
which I found in the field and shows the location of visible evidence of utilities which I found at the
time of my survey of these premises, and underground based on supplied plans. No attempt has
been made as part of this survey to excavate, uncover or expose those facilities to field check the
existence, size, depth, condition, capacity or exact location of those facilities. For more information
concerning those utilities, please contact the appropriate public agencies or utility company.

Note: Use extreme caution near ComEd facilities. Hand dig
while crossing all 69/138/345 kV transmission line. ComEd
transmission shall be notified two(2) business days prior to
the start of work. To schedule an onsite inspector during
construction, contact Leslie Paschal at (630)437-4767.

Note: Fire Alarm & Police Telegraph Cable System
Utility located adjacent to this property. See Drawing
No. 35126 from City of Chicago-Department of Streets
and Sanitation-Division of Electrical Engineering.

#	Date	Description
1	6-29-18	Issued
2	12-13-18	Reissued

TERRA
ENGINEERING LTD.
225 W. Ohio Street
4th Floor
Chicago, IL 60654
TEL: (312) 467-0123
FAX: (312) 467-0220
www.terraengineering.com

Project Information
PROJECT #: 18-186
DRAWN BY: KR
CHECKED BY: TB
APPROVED BY: TB

Cabrini Green Redevelopment Plan
Clybourn and Larrabee, Chicago

MANHOLE INFORMATION

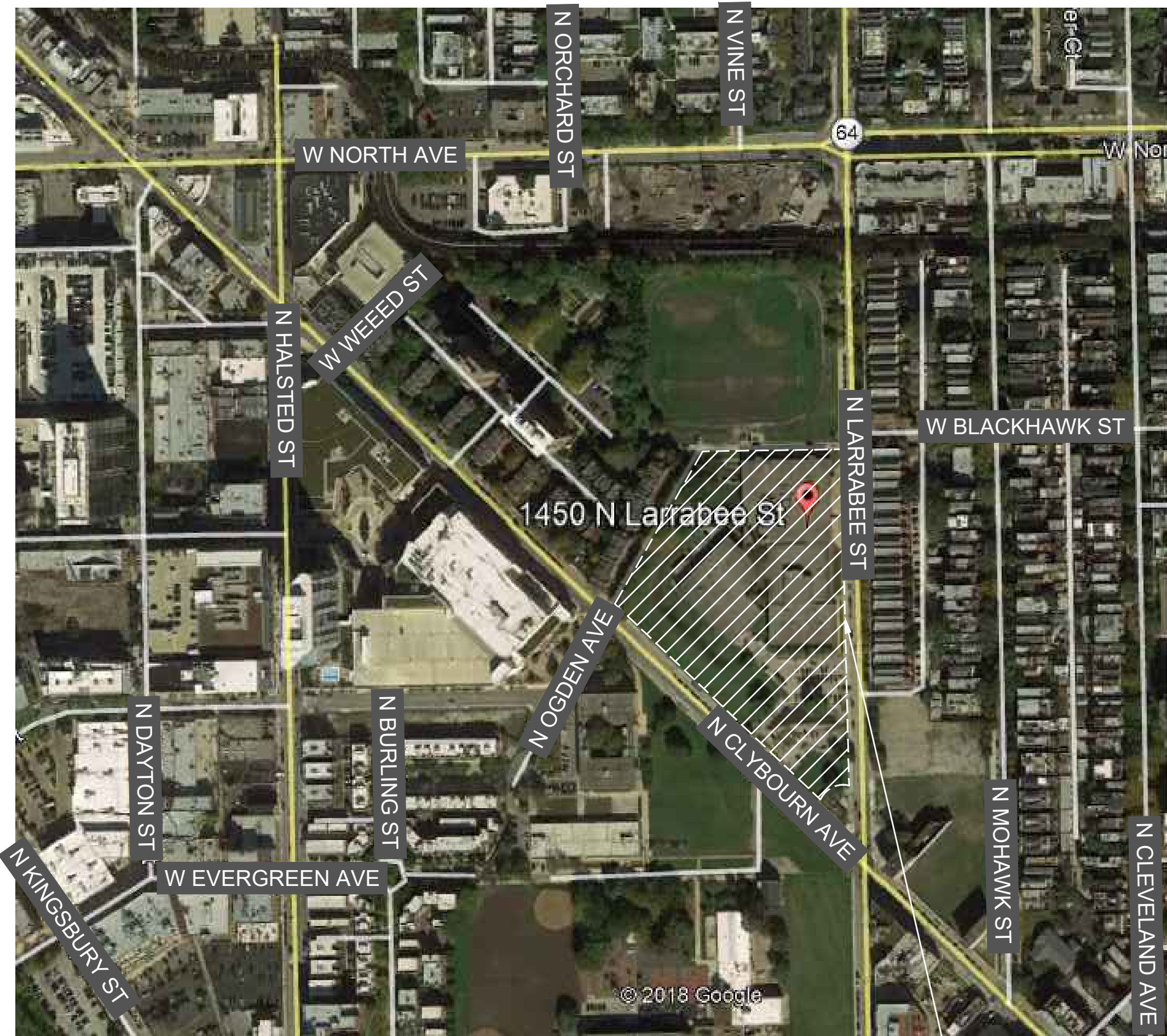
Manhole Number	Type of Utility	Type of Lid	Type of Structure	Invert 1								Invert 2				Invert 3			Invert 4				Invert 5				Invert 6				Invert 7				Notes				
				Rim Elevation	Direction	Diameter	Type	Top of Pipe Elevation	Top of Key Elevation	Top of Water Elevation	Top of Debris Elevation	Invert Elevation	Direction	Diameter	Type	Invert Elevation	Direction	Diameter	Type	Invert Elevation	Direction	Diameter	Type	Invert Elevation	Direction	Diameter	Type	Invert Elevation	Direction	Diameter	Type	Invert Elevation							
1001	Storm	Open	CatchBasin	13.25		E	15"	VCP																															
1002	Storm	Open	CatchBasin	12.86								8.64		3.53	W	15"	VCP	3.31																					
1003	Storm	Open	CatchBasin	12.74	NW	8"	VCP					8.04	7.25																										
1004	Storm	Open	CatchBasin	13.71	S	15"	VCP							3.95	W	15"	VCP	3.86																					
1006	Sanitary	Closed	Manhole	14.05	NE	8"	VCP							8.95	NE	10"	VCP	4.05	SE	12"	VCP	4.05	SE	10"	VCP	4.04	SW	8"	VCP	8.31	NW	12"	VCP	4.00	NW	6"	VCP	6.55	No pipes visible
1007	Storm	Open	CatchBasin	13.32								9.88	7.68																										
1262	Sanitary	Closed	Manhole	14.10	E	24"	VCP							3.75	W	24"	VCP	3.85																					
1268	Storm	Open	CatchBasin	13.31								10.50	9.11																							No pipes visible			
1292	Sanitary	Closed	Manhole	13.91	N	24"	VCP							4.59	S	24"	VCP	4.25	W	12"	VCP	4.28																	
1375	Sanitary	Closed	Manhole	13.78	N	24"	VCP							3.96	S	24"	VCP	3.87																					
1460	Water	Closed	Manhole/Vault	10.75						7.15	9.50																									Full of Water - No pipes visible			
1461	Sanitary	Closed	Manhole	10.75	E	8"	VCP							4.83	S	8"	VCP	5.14	W	8"	VCP	4.93																	
1609	Storm	Open	CatchBasin	9.48	W	8"	VCP							4.80																									
1666	Sanitary	Closed	Manhole	13.64	N	12"	VCP							4.84	SE	8"	VCP	8.22	SE	8"	VCP	8.29	S	12"	VCP	4.73	SW	8"	VCP	8.59	NW	8"	VCP	8.54					
1671	Water	Closed	Manhole/Vault	14.02	N-S	6"	DI	7.53	8.88					7.27																									
1673	Water	Closed	Manhole/Vault	12.64										7.40																						Pipes not visible			
1907	Storm	Curb Grates	Curb Inlet	8.04	NNW	6"	VCP							7.19																									
2026	Sanitary	Closed	Manhole	13.83	E	8"	VCP							8.68	S	8"	RCP	8.73																					
2027	Storm	Open	CatchBasin	12.61	N	8"	VCP							7.97																									
2028	Storm	Open	CatchBasin	12.78	E	8"	VCP							7.10																									
2029	Storm	Open	CatchBasin	12.65	N	8"	VCP							8.04																									
2149	Storm	Open	CatchBasin	13.17										8.17																						No pipes visible			
2150	Storm	Open	CatchBasin	13.12																																			
2165	Storm	Open	CatchBasin	12.71	S	8"	VCP							7.29																						Full of Debris - No pipes visible			
2204	Sanitary	Closed	Manhole	13.48	N	90"	RCP							-3.02	S	90"	RCP	-3.30																					
2205	Storm	Open	CatchBasin	12.92	E	8"	VCP							5.37																									
2270	Storm	Open	CatchBasin	12.31	SW	8"	VCP							7.47																									
2271	Sanitary	Closed	Manhole	12.60	N	10"	VCP							7.10	NE	8"	VCP	7.12	S	10"	VCP	7.18																	
2395	Water	Closed	Manhole/Vault	13.21						10.36				9.81																									
2396	Sanitary	Closed	Manhole	13.49	E	90"	RCP							-3.46	W	90"	RCP	-3.50																					
2405	Sanitary	Closed	Manhole	13.98	N	24"	VCP							2.78	S	24"	VCP	2.63																					
2406	Sanitary	Open	Manhole	13.92	N	24"	VCP							2.66	S	24"	VCP	2.62	SW	24"	VCP	2.83																	
2410	Water	Closed	Manhole/Vault	13.26	E-W	8"	DI	8.04	9.46					6.81																									
2467	Storm	Open	CatchBasin	12.92										6.43																						No pipes visible - pipe under debris			
2555	Storm	Open	CatchBasin	12.91																																Car parked over manhole lid			
2558	Water	Closed	Manhole/Vault	13.71										7.26																						No pipes visible - pipe under debris			
2559	Water	Closed	Manhole/Vault	13.70																																			
2606	Sanitary	Closed	Manhole	14.03	N	10"	VCP																																
2607	Water	Closed	Manhole/Vault	13.99	E-W	8"	DI	7.85	8.99					7.44	E	8"	VCP	6.59	S	10"	VCP	6.88																	
2652	Storm	Open	CatchBasin	12.94	W	8"	VCP							5.69																									
2696	Storm	Open	CatchBasin	10.35										7.03																						No pipes visible			
2709	Sanitary	Closed	Manhole	10.80	N	10"	VCP							7.75	W	8"	DI	8.39																		No pipes visible			
2733	Storm	Open	CatchBasin	10.57										7.35																									
2806	Sanitary	Closed	Manhole	13.71	N	90"	RCP							-3.30	S	90"	RCP	-3.83																					
2857	Storm	Open	CatchBasin	12.96	E	8"	VCP							5.65																									
3055	Storm	Open	CatchBasin	12.97										6.52																						No pipes visible			
3094	Storm	Open	CatchBasin	13.07										5.57																						No pipes visible			
3098	Sanitary	Closed	Manhole	13.59										10.54																						Full of debris - No pipes visible			
3204	Storm	Open	CatchBasin	12.98	E	8"	VCP							3.97																									
3205	Sanitary	Closed	Manhole	13.70	E	12"	VCP							3.95	W	12"	VCP	3.99																					
3372	Storm	Open	CatchBasin	12.84	W	8"	VCP	9.44						10.13																									
3439	Sanitary	Closed	Manhole	13.60	N	8"	VCP							7.11	W	8"	VCP	7.12																					
3878	Unknown	Closed	Unknown	12.63										7.59																									

1450 N. LARRABEE DEMOLITION

1450 N LARRABEE STREET
CHICAGO, IL 60610

C0.1	GENERAL NOTES
C0.2	EXISTING CONDITIONS PLAN
C0.3	EXISTING MANHOLE INFORMATION
C1.0	SITE DEMOLITION PLAN
C2.0	EXCAVATION AND BACKFILL PLAN
C2.1	SITE GRADING AND DRAINAGE PLAN
	AS-BUILT TOPOGRAPHY
	AS-BUILT STORAGE VOLUME TABLES
C2.2	SITE CROSS SECTIONS
C2.3	SITE CROSS SECTIONS
C2.4	SITE EROSION AND SEDIMENTATION CONTROL PLAN
C3.0	DETAILS
C4.0	SITE OPERATIONS AND MAINTENANCE PLAN

SITE MAP



CITY OF CHICAGO BENCHMARK NUMBER 1494
Mark cut on corner of W. end of iron plate doorstep at
Northeast corner of 3-story and basement brick building.
Elevation = 14.517

CITY OF CHICAGO BENCHMARK NUMBER 1490
Mark cut on corner of stone water table at the S.E. corner of
4 story building on the N. side of Wendell St. at the W side of
the alley E. of Orleans St.

Elevation = 14.574

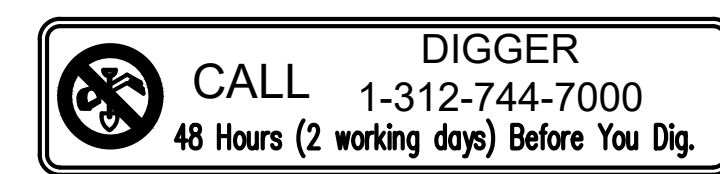
Site Benchmark #1
Chain bolt of fire hydrant located at the Southeast corner of N
Larrabee Street and W. Blackhawk Street.

Elevation = 14.917

Site Benchmark #2
Chain bolt of fire hydrant located on the Northeast side of N.
Clybourn Avenue and approximately 385' Northwest from the
Northwest corner of N. Clybourn Avenue and N. Larrabee Street.

Elevation = 15.172

THE CONTRACTOR SHALL DEFEND, DEMURRY, KEEP SAFE, HARMLESS, THE MUNICIPALITY, OWNER AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, FROM ALL SUITS, DAMAGES, LOSSES, CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO, THE PERFORMANCE OF WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBS, AGENTS, EMPLOYEES, OR INDEPENDENT CONTRACTORS, IN THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO THE PROTECTION OF ADJACENT LANDOWNERS' PROPERTY, AS SET FORTH IN 48 PAR. 80 AT SEQ. AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS' (IL REV. STAT. CH. 17-1/2 PAR. 51 ET. SEQ.) IN THE EVENT OF ANY SUCH CLAIM. THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.



NOTE: THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR. TERRA ENGINEERING LTD. WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED IN THESE RECORD DRAWINGS AS A RESULT OF INFORMATION SUPPLIED BY OTHERS OR ANY CHANGES IN THE FIELD THAT WERE DIRECTED BY OTHERS.



Revisions

[illegible]

Stamp

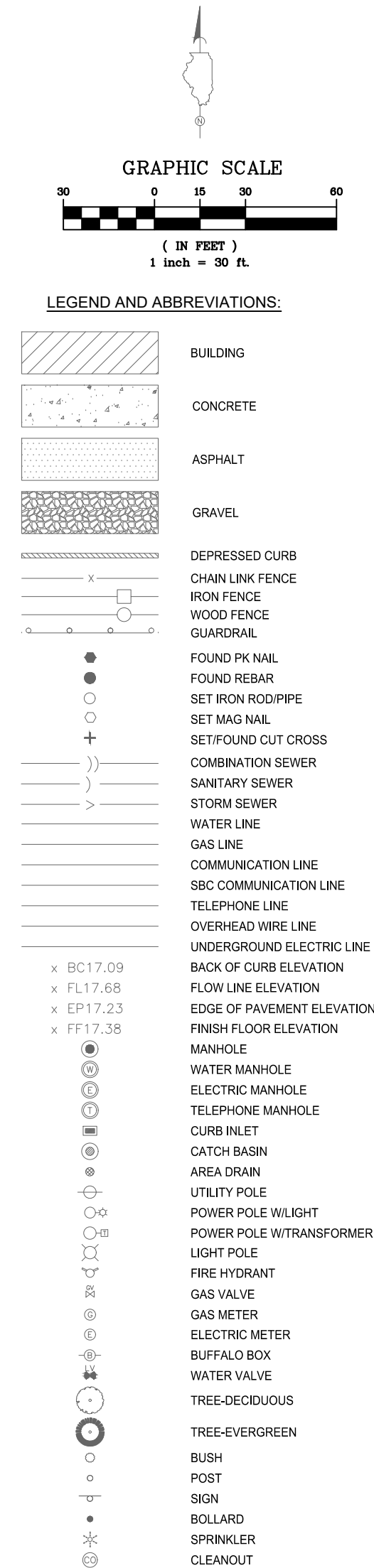
Title

COVER SHEET

Sheet No.

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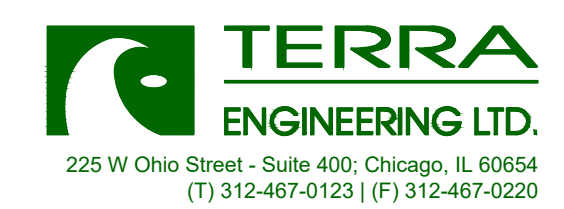
Oct 08, 2022 - 1:54am
 C:_2018\18-186 CHA Cabrini Site 1\Design\Site\Drawings\GO.0 Cover Sheet.dwg



Client
HUNT COMPANIES
980 N MICHIGAN, SUITE 1150
CHICAGO, IL 60611

HUNT COMPANIES
980 N MICHIGAN, SUITE 1150
CHICAGO, IL 60611

CIVIL ENGINEER

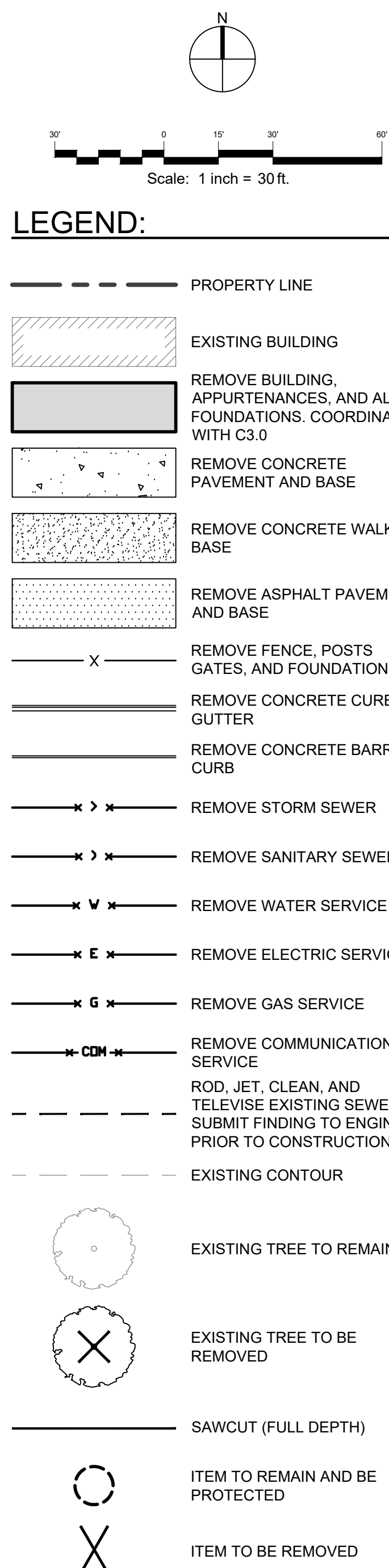
[illegible]

EXISTING CONDITIONS PLAN

C0.2

Oct 06, 2022 - 1:56pm
M:\2019\15-186 CH Corral Sta 1\Drawings\Drawings\022 Existing Conditions Plan.dwg
Reviewed

Manhole	Type of	Type of	Type of		Invert 1					Invert 2			Invert 3			Invert 4			Invert 5			Invert 6			Invert 7												
Number	Utility	Lid	Structure	Rim Elevation	Direction	Diameter	Type	Top of Pipe Elevation	Top of Key Elevation	Top of Water Elevation	Top of Debris Elevation	Invert Elevation	Direction	Diameter	Type	Invert Elevation	Direction	Diameter	Type	Invert Elevation	Direction	Diameter	Type	Invert Elevation	Direction	Diameter	Type	Invert Elevation	Notes								
1001	Storm	Open	CatchBasin	13.25	E	15"	VCP					3.53		W	15"	VCP	3.31																				
1002	Storm	Open	CatchBasin	12.86						8.64																											
1003	Storm	Open	CatchBasin	12.74	NW	8"	VCP			8.04	7.25																										
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1006	Sanitary	Closed	Manhole	14.05	NE	8"	VCP							NE	10"	VCP	4.05	SE	12"	VCP	4.05	SE	10"	VCP	4.04	SW	8"	VCP	8.31	NW	12"	VCP	4.00	NW	6"	VCP	6.55
1007	Storm	Open	CatchBasin	13.32						9.88	7.68																										
1262	Sanitary	Closed	Manhole	14.10	E	24"	VCP							W	24"	VCP	3.85																		No pipes visible		
1268	Storm	Open	CatchBasin	13.31						10.50	9.11																									No pipes visible	
1292	Sanitary	Closed	Manhole	13.91	N	24"	VCP							S	24"	VCP	4.25	W	12"	VCP	4.28																
1375	Sanitary	Closed	Manhole	13.78	N	24"	VCP							S	24"	VCP	3.87																				
1460	Water	Closed	Manhole/Vault	10.75					7.15	9.50																										Full of Water - No pipes visible	
1461	Sanitary	Closed	Manhole	10.75	E	8"	VCP							S	8"	VCP	5.14	W	8"	VCP	4.93																
1609	Storm	Open	CatchBasin	9.48	W	8"	VCP			6.87																											
1666	Sanitary	Closed	Manhole	13.64	N	12"	VCP							SE	8"	VCP	8.22	SE	8"	VCP	8.29	S	12"	VCP	4.73	SW	8"	VCP	8.59	NW	8"	VCP	8.54				
1671	Water	Closed	Manhole/Vault	14.02	N-S	6"	DI	7.53	8.88		7.27																										
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1907	Storm	Curb Grates	Curb Inlet	8.04	NW	6"	VCP																													Pipes not visible	
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2027	Storm	Open	CatchBasin	12.61	N	8"	VCP			7.97	7.21																										
2028	Storm	Open	CatchBasin	12.78	E	8"	VCP			7.10																											
2029	Storm	Open	CatchBasin	12.65	N	8"	VCP			8.04	7.43																										
2149	Storm	Open	CatchBasin	13.17						8.17	8.12																									No pipes visible	
2150	Storm	Open	CatchBasin	13.12							10.93																									Full of Debris - No pipes visible	
2165	Storm	Open	CatchBasin	12.71	S	8"	VCP			7.29	6.31																										
2204	Sanitary	Closed	Manhole	13.48	N	90"	RCP							S	90"	RCP	-3.30																				
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2696	Storm	Open	CatchBasin	10.35						7.03																											
2709	Sanitary	Closed	Manhole	10.80	N	10"	VCP				7.75			W	8"	DI	8.39																			No pipes visible	
2733	Storm	Open	CatchBasin	10.57						7.35	5.82																									No pipes visible	
2806	Sanitary	Closed	Manhole	13.71	N	90"	RCP							S	90"	RCP	-3.83																				
2857	Storm	Open	CatchBasin	12.96	E	8"	VCP			5.65																											
3055	Storm	Open	CatchBasin	12.97						6.52	5.65																									No pipes visible	
3094	Storm	Open	CatchBasin	13.07						5.57	4.50																									No pipes visible	
3098	Sanitary	Closed	Manhole	13.59							10.54																									Full of debris - No pipes visible	
3204	Storm	Open	CatchBasin	12.98	E	8"	VCP			3.97																											
3205	Sanitary	Closed	Manhole	13.70	E	12"	VCP							W	12"	VCP	3.99																				
3372	Storm	Open	CatchBasin	12.84	W	8"	VCP	9.44			10.13																									Full of Debris	
3439	Sanitary	Closed	Manhole	13.60	N	8"	VCP							W	8"	VCP	7.12																				
3878	Unknown	Closed	Unknown	12.63							7.59																									No pipes visible	
3898	Storm	Open	CatchBasin	11.66	N	8"	VCP			8.24	7.61																										
3946	Sanitary	Closed	Manhole	10.52	E	8"	VCP			7.28				SE	8"	VCP	5.92	W	8"	VCP	5.97															Full of water	
4140	Storm	Open	CatchBasin	10.07						7.13																										No pipes visible	
4154	Storm	Curb Grates	Curb Inlet	7.40							7.70																									Full of debris - No pipes visible	
10026	Storm	Open	CatchBasin	14.80	NE	15"	VCP							SW	15"	VCP	2.74																				
10085	Sanitary	Open	Manhole	14.30							4.63																									No pipes visible	
10160	Sanitary	Closed	Manhole	14.16	E	15"	VCP							W	15"	VCP	0.91																				
10162	Sanitary	Closed	Manhole	14.20	E	12"	VCP							W	12"	VCP	2.80																				
10251	Water	Closed	Manhole/Vault	13.63					9.78		8.91																									Full of debris - No pipes visible	
10256	Storm	Open	CatchBasin	13.26							13.01																									Full of debris - No pipes visible	
10292	Storm	Open	CatchBasin																																		



Project Team

CIVIL ENGINEER

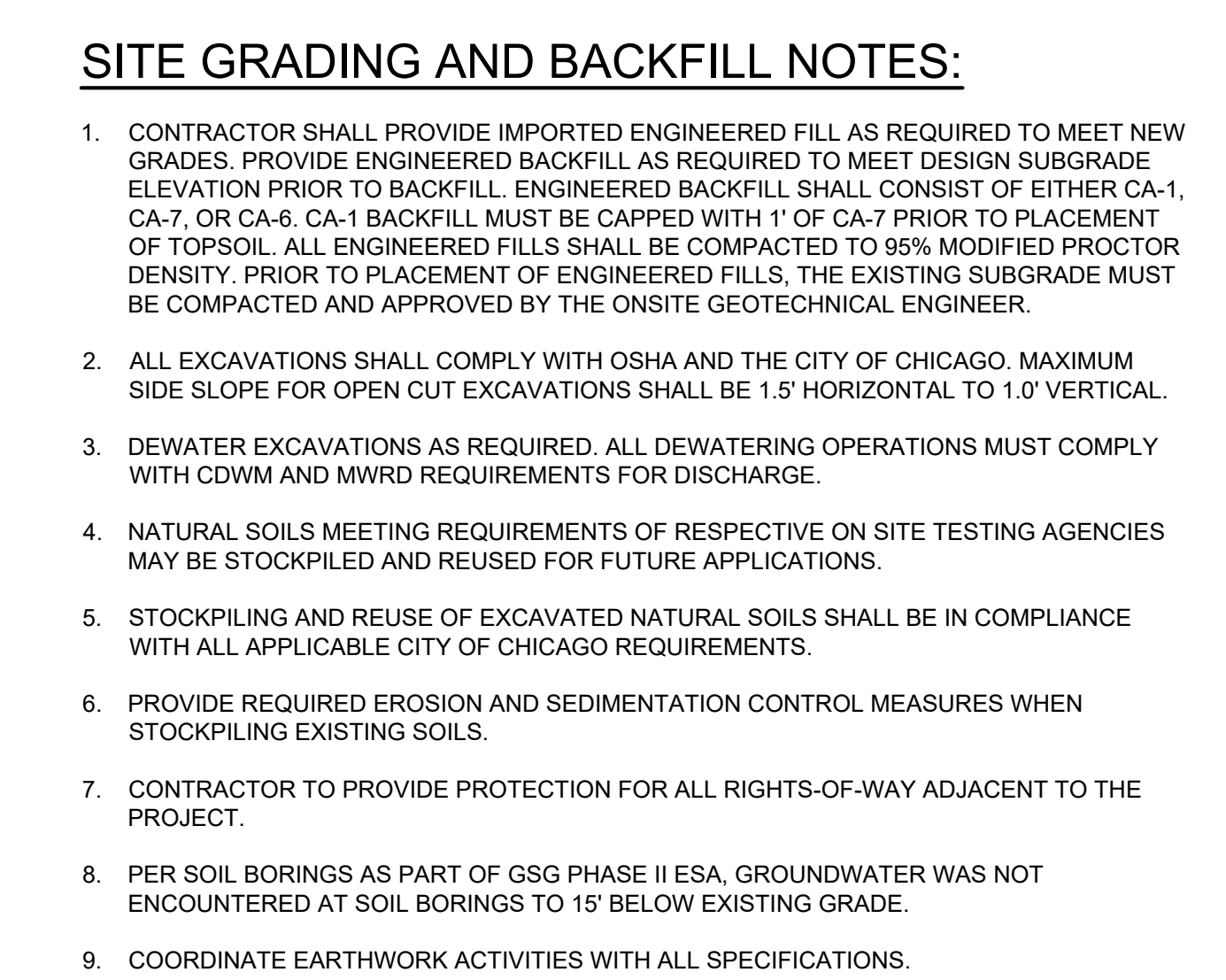
 **TERRA**
ENGINEERING LTD.

225 W Ohio Street - Suite 400; Chicago, IL 60654
(T) 312-467-0123 | (F) 312-467-0220

Sheet No.

C1.0

TCOOL Project No. 101-1001



Project Team

CIVIL ENGINEER

 TERRA
ENGINEERING LTD.

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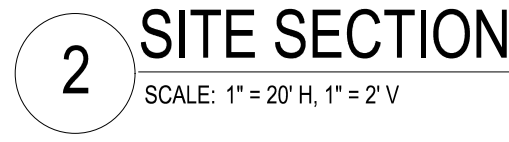
Title

EXCAVATION AND
BACKFILL PLAN

Sheet No.

C2.0

TFR&A Project No. XX-XXX



Sheet No. **C2.2**

Oct 08, 2022 - 1:58am
 \\c:\2018\18-186 CHA Cabini Site 1\Design\Site\Drawings\C2.0 Excavation and Backfill Plan.dwg
 CatherineX

Client

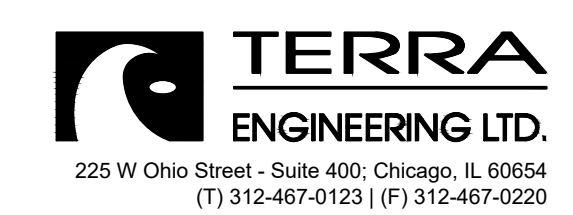
HUNT COMPANIES
980 N MICHIGAN, SUITE 1150
CHICAGO, IL 60611

Client

HUNT COMPANIES
980 N MICHIGAN, SUITE 1150
CHICAGO, IL 60611

Project Team

CIVIL ENGINEER



Revisions

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Stamp

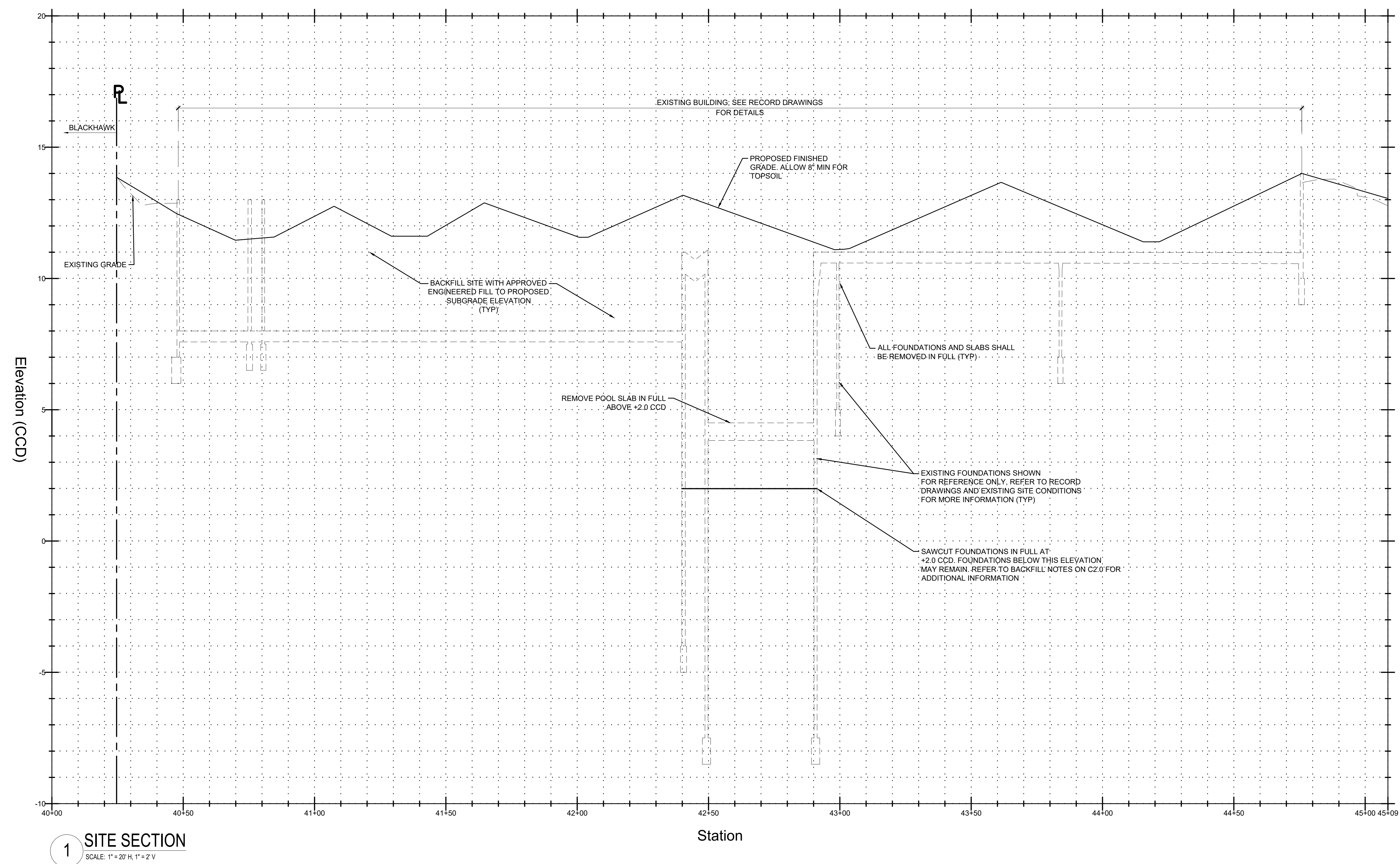
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SITE CROSS SECTIONS

Sheet No. _____

C2.3

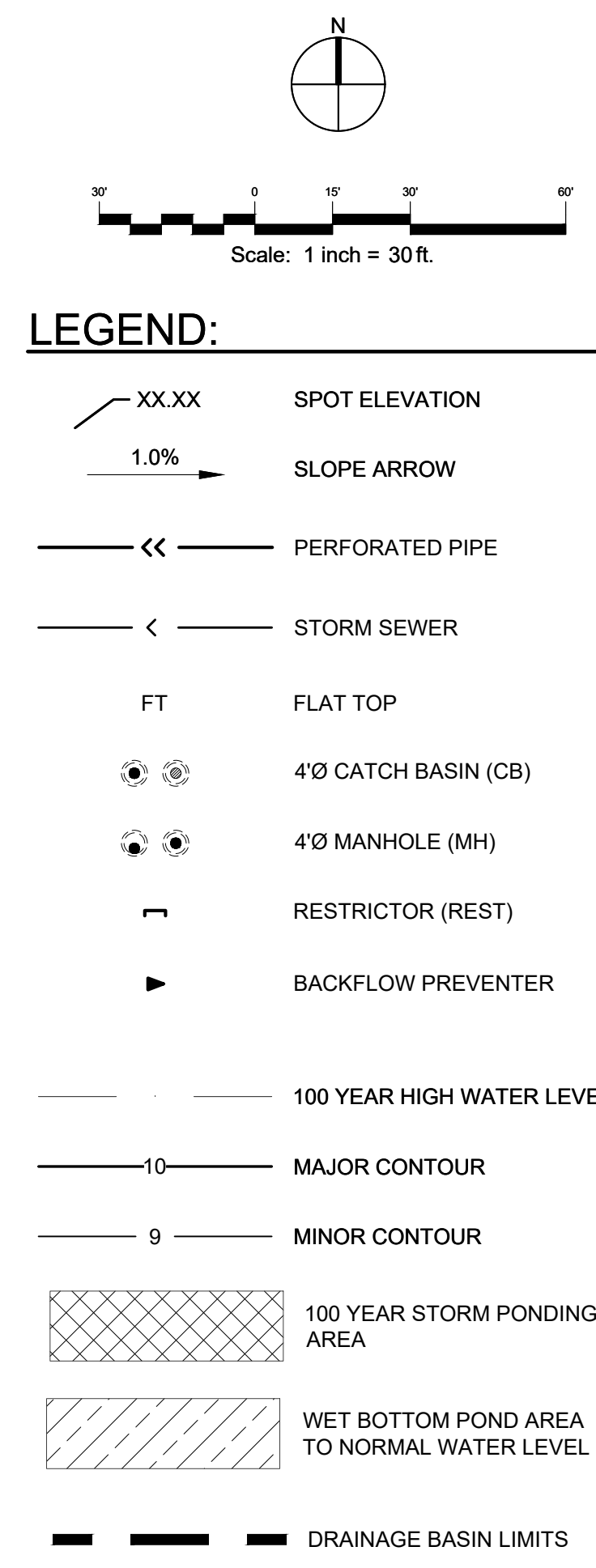
TERRA Project No. XX-XXX



1 SITE SECTION

SCALE: 1" = 20' H, 1" = 2' V

1) SCALE: 1" = 20' H, 1" = 2' V



Project Team

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 **TERRA**
ENGINEERING LTD.

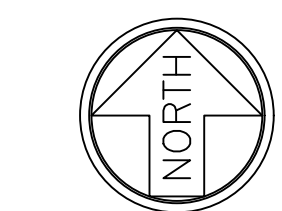
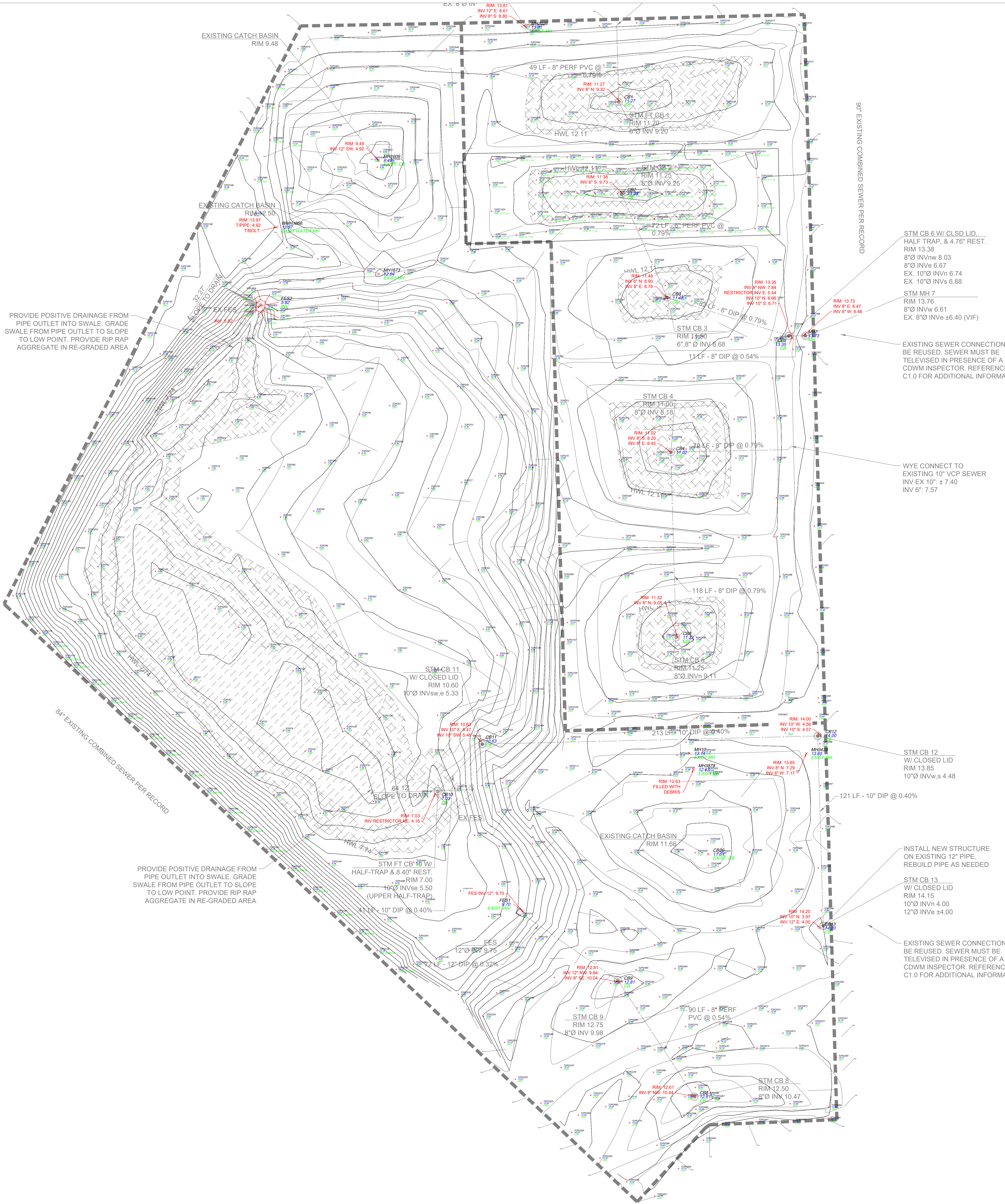
225 W Ohio Street - Suite 400, Chicago, IL 60654
(312) 313-4674 / (312) (F) 312-MET-0229

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Sheet No.

C2.1

TERRA Project No. XX-XXX



SITE TOPOGRAPHY
NEAR NORTH HIGH SCHOOL DEMOLITION
1450 N LARRABEE
CHICAGO, ILLINOIS

BASED OFF:
C2.1 Site Grading and Drainage Plan.dwg DATED 2023.08.31
G0.0 DATED 2020.01.20
C0.2 DATED 2020.01.20

NOTE: THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR. TERRA ENGINEERING LTD. WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED IN THESE RECORD DRAWINGS AS A RESULT OF INFORMATION SUPPLIED BY OTHERS OR ANY CHANGES IN THE FIELD THAT WERE DIRECTED BY OTHERS.

LEGEND:
POINT
ELEVATION
DESCRIPTION

DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF.

SCALE: 1" = 20'
DATE: OCTOBER 11, 2023
ORDERED BY: OVC

Prepared by:
PROFESSIONALS ASSOCIATED
Construction Layout & Survey Co. Ltd.
7100 N. Tripp Ave. Lincolnwood, IL 60472
(847) 675-3000
PAA@PROFESSIONALASSOCIATED.COM

CLYBORN BASIN AS-BUILT STORAGE PROVIDED

Clyborn Basin Volume Table			
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)
6.00	3396	N/A	0
6.50	12382	3,710	3,710
7.00	20750	8,193	11,904
7.50	32,977	13,314	25,218
7.74	38,510	8,570	33,788

NOTE: THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR. TERRA ENGINEERING LTD. WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED IN THESE RECORD DRAWINGS AS A RESULT OF INFORMATION SUPPLIED BY OTHERS OR ANY CHANGES IN THE FIELD THAT WERE DIRECTED BY OTHERS.

LARRABEE BASIN AS-BUILT STORAGE PROVIDED

Larrabee Basin #1 Volume Table			
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)
11.27	2.89	N/A	0
11.50	690	57	57
12.00	4367	1,132	1,189
12.11	5,444	539	1,727

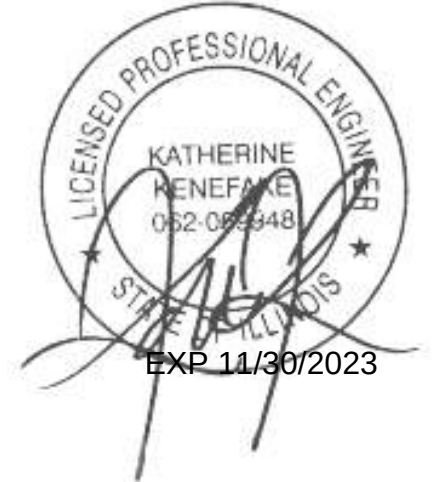
Larrabee Basin #2 Volume Table			
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)
11.38	2.89	N/A	0
11.50	249	11	11
12.00	2459	582	593
12.11	3,245	313	906

Larrabee Basin #3 Volume Table			
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)
11.48	2.89	N/A	0
11.50	4.07	0	0
12.00	1529	269	269
12.11	2,273	208	476

Larrabee Basin #4 Volume Table			
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)
11.02	2.89	N/A	0
11.50	1121	189	189
12.00	3789	1,162	1,351
12.11	4,611	461	1,812

Larrabee Basin #5 Volume Table			
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)
11.32	2.89	N/A	0
11.50	203	14	14
12.00	1675	410	424
12.11	2,202	213	637

Total Larrabee Basin Volume Provided =	5,558 CF
--	----------



LARRABEE PIPE & STRUCTURE AS-BUILT STORAGE PROVIDED

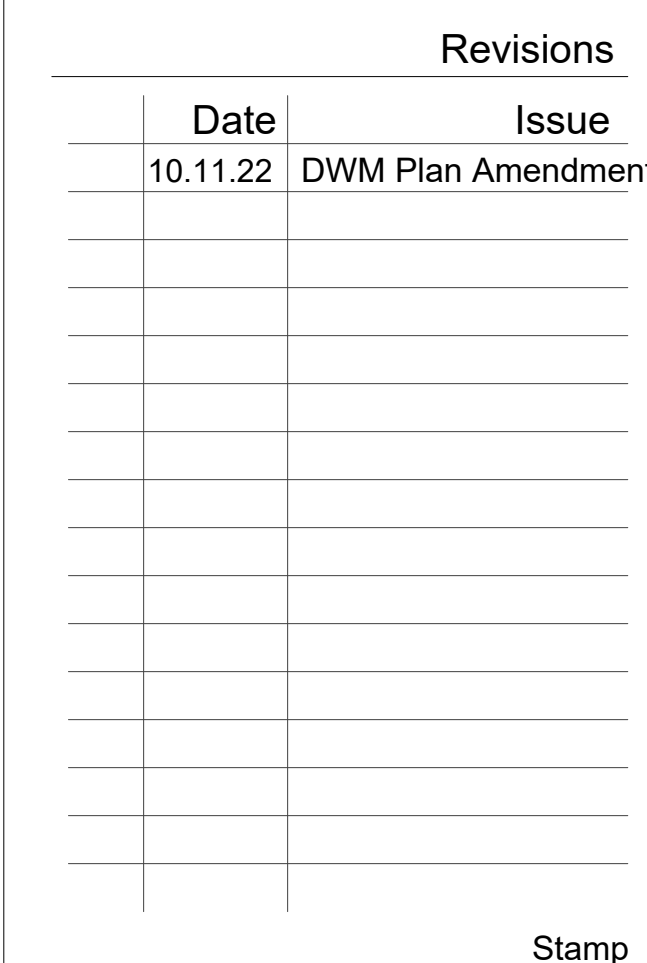
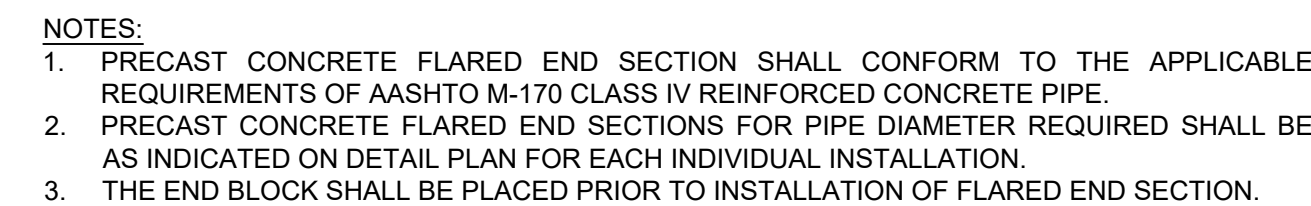
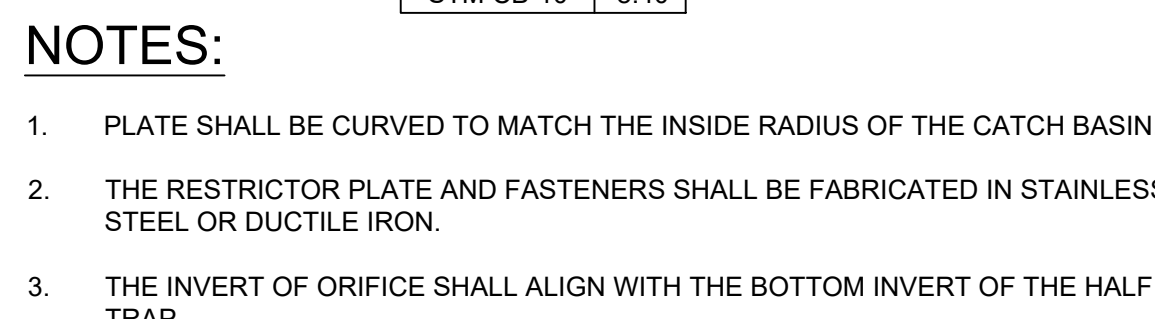
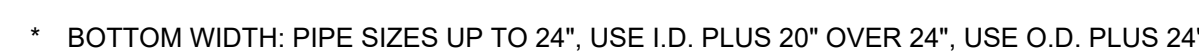
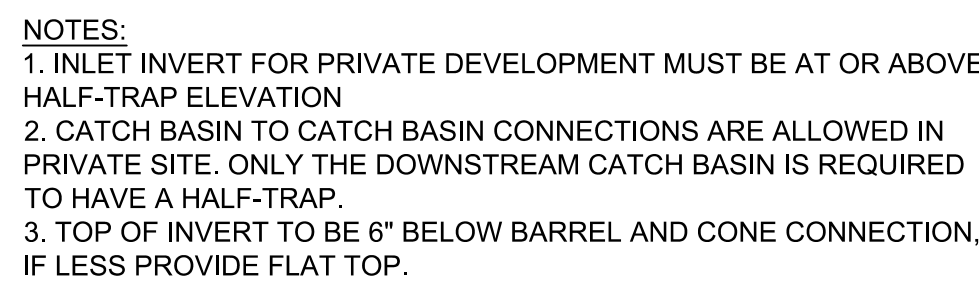
Stormwater Pipes		
Length (ft)	Diameter (in)	Volume (CF)
72	6	14.13
328	8	114.47
Total		128.61

Stormwater Structures								
Structure Label	Diameter (ft)	RIM (CCD)	HWL (CCD)	Bottom of Flat Top (RIM - 18")	Bottom of Conical Section (RIM-2'-10")	Invert	Barrel Volume (CF)	Total Volume (CF)
CB-1	4.0	11.27	12.11	9.77	N/A	9.32	5.65	8.45
CB-2	4.0	11.38	12.11	9.88	N/A	9.73	1.88	4.68
CB-3	4.0	11.48	12.11	9.98	N/A	8.78	15.07	17.87
CB-4	4.0	11.02	12.11	9.52	N/A	8.20	16.58	19.38
CB-5	4.0	11.32	12.11	9.82	N/A	9.05	9.67	12.47
CB-6	4.0	13.35	12.11	N/A	10.52	5.44	63.76	66.56
Total								129.42

Pipe & Structure Volume Provided	258 CF
TOTAL Larrabee Storage Volume Provided	5,816 CF

NOTE: THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR. TERRA ENGINEERING LTD. WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED IN THESE RECORD DRAWINGS AS A RESULT OF INFORMATION SUPPLIED BY OTHERS OR ANY CHANGES IN THE FIELD THAT WERE DIRECTED BY OTHERS.





THE PEOPLE REPRESENTED BELOW ARE INVOLVED WITH AND RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE (O&M) OF THE STORMWATER DETENTION FACILITIES AS OUTLINED HEREIN.

- JAMES L BEBLEY 312.742.8500

- WILLIAM LITTLE 312.470.1125

INFORMATION IN THIS SECTION OUTLINES THE SPECIFIC INSPECTION AND MAINTENANCE REGIMEN FOR EACH BMP (BEST MANAGEMENT PRACTICE) AND MUST COMPLY WITH THE FOLLOWING:

- ## DRAINAGE SWALES

- ## DETENTION BASINS

PROPERTY NAME: XXXX

PROPERTY ADDRESS: 14

THE OPERATION AND MAINTENANCE PLAN, DATED DECEMBER 31, 2019, AND UNDERSTAND ITS CONTENTS. (AS REQUIRED BY THE STORMWATER MANAGEMENT ORDINANCE, SECTION 11-18-030).

IN THE EVENT THAT I/WE WERE TO SELL THIS PROPERTY, I/WE AGREE TO GIVE A COPY OF THE PLAN TO THE NEW OWNER(S) AND THIS OWNER'S CERTIFICATION STATEMENT FOR SIGNATURE. THIS SIGNED CERTIFICATION STATEMENT MUST BE SUBMITTED TO THE CITY'S DEPARTMENT OF BUILDINGS UPON TRANSFER OF OWNERSHIP.

WE FURTHER AGREE TO ADHERE TO THE MAINTENANCE SCHEDULE OF BEST MANAGEMENT PRACTICES STIPULATED IN THE PLAN. I/WE ALSO ACKNOWLEDGE THAT IF I/WE DON'T MAINTAIN THE MEASURES AS SHOWN IN THE PLAN, UPON CITY INSPECTION, I/WE COULD BE LIABLE FOR A VIOLATION OF THE CITY'S MUNICIPAL CODE (ACCORDING TO STORMWATER MANAGEMENT ORDINANCE SECTION 11-18-130).

Chicago Housing Authority

1. 1. 2.

INITIAL OWNER(S) SIGNATURE DATE NOTARY PUBLIC

James L. Bebley, Acting Chief Executive Officer

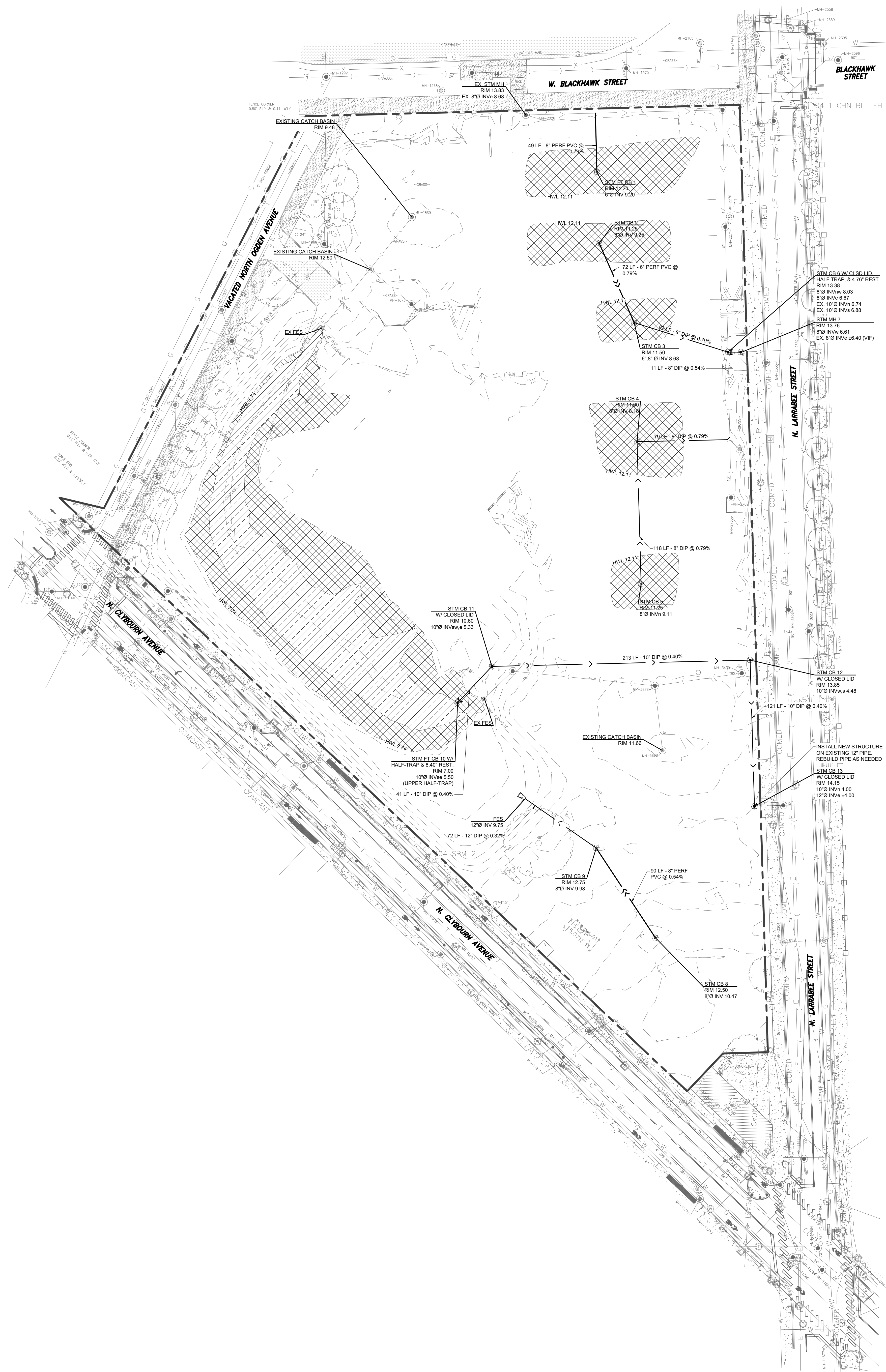
2ND OWNER(S) PRINTED NAME

INITIAL OWNER(S) SIGNATURE	DATE	NOTARY PUBLIC
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3RD OWNER(S) PRINTED NAME

INITIAL OWNER(S) SIGNATURE	DATE	NOTARY PUBLIC
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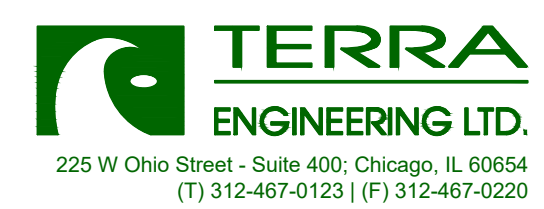
1. THE SITE MAP HEREIN OUTLINES THE LOCATION OF ALL BMPs (BEST MANAGEMENT PRACTICES), STORMWATER MANAGEMENT FACILITIES THAT SHALL BE PROPERLY MAINTAINED AS OUTLINED HEREIN.



Client

Project Team

CIVIL ENGINEER

[illegible]

Stamp

Title

SITE OPERATIONS AND MAINTENANCE PLAN

Sheet No.

C4.0

TERRA Project No. XX-XXX

Q. Bribery, Price Fixing, or Fraud

No person or business entity shall be awarded a contract or subcontract for a period of five years from the date of conviction or entry of a plea or admission of guilt, if that person or business entity:

1. has been convicted of an act committed of bribery or attempting to bribe an officer or employee of a unit of state or local government or school district in that officer's or employee's official capacity; or
2. has been convicted of an act of bid-rigging or attempting to rig bids as defined in the Sherman Anti-Trust Act and Clayton Act (15 U.S.C. §1 et seq.), or under the laws of the State of Illinois; or has been convicted of an act of price-fixing or attempting to fix prices as defined by the Sherman Anti-Trust Act (15 U.S.C. §1 et seq.) or under the laws of the State of Illinois; or
3. has been convicted of defrauding or attempting to defraud any unit of state or local government or school district; or
4. has made an admission of guilt of such conduct as set forth in subparagraph 1 through 3 above, which admission is a matter of record, whether or not such person or business entity was subject to prosecution for the offense or offense admitted to; or
5. has entered into a plea of nolo contendere to charges of such conduct, as is set forth in subparagraphs 1 through 3 above.

For purpose of the Paragraph, "business entity" means a corporation, partnership, trust, association, unincorporated business or individually owned business. Where an official, agent or employee of a business entity committed the acts as set forth in subparagraphs 1 through 5 above on behalf of such entity and pursuant to the direction or authorization of a responsible official thereof, the business entity shall be chargeable with the conduct and be disqualified.

A business entity shall also be disqualified if it employs as an officer any individual who was an officer of another business entity at the time the latter committed a disqualifying act as set forth in subparagraphs 1 through 5 above.

A business entity shall also be disqualified if any owner directly or indirectly controls 20% or more of the business entity and was an owner who directly or indirectly controlled 20% of another business entity at the time, such business entity committed a disqualifying act as set forth in subparagraphs 1 through 3 above.

Any contract found to have been awarded in violation of this Paragraph may be voided at the discretion of CHA.

ARTICLE V SUBMITTAL REQUIREMENTS

A. Format

Respondents shall present their proposals as a firm offer which, if accepted by CHA in its entirety, shall be binding between the parties. Electronic responses submitted via the CHA Supplier Portal at <https://supplier.thecha.org> only require one (1) complete proposal. The Respondents must also include an indexed version of each submittal section of the electronic proposal shall be formatted, labeled and separated into a different file.

Note: There is no maximum file capacity size when uploading attachments in the Supplier Portal. *If you receive an error message that states the “Maximum size is: 50” while uploading an attachment in the Supplier Portal, that error message is referring to the file naming size. The name of your file cannot be more than 50 characters.*

Proposals not containing all the submittal requirements (See Attachment B – Vendor Submission Checklist) may be deemed non-responsive to this RFP.

B. Cover Letter and Executive Summary Form

A cover letter shall be submitted on the Respondent's letterhead, signed by a principal and the joint venture partner, if applicable. The cover letter must contain a plan explaining how services will be performed; a commitment to provide the services described in the Scope of Services of this RFP; and indicate that the offer is good for one hundred-eighty (180) days from submittal of proposal. In the cover letter, the Respondent shall also include an acknowledgement that the Respondent has read and understands the requirements of the RFP including, but not limited to, the terms and conditions of the attached Professional Services Agreement (refer to Attachment D), CHA's contract requirements, Insurance and Indemnification requirements, and will comply with these requirements if awarded a contract. Proposers and Bidders shall also include the Executive Summary Form (Article X).

C. Qualifications and Experience

Due to the nature and scope of this development effort, CHA expects that the selected Respondent will have a diverse team with significant experience with projects with similar scale in the following areas:

1. Lead Respondent (Developer) has a minimum of five (5) years' experience in planning and implementing mixed-use mixed-income development initiatives that integrate former public housing development sites into the surrounding cultural and urban community fabric while providing both rental and homeownership opportunities.
2. Lead Architectural firm has a minimum of five (5) years' experience in large-scale site planning and architectural design services for a variety of building designs/types, and landscape design. The firm should have experience leading large, multi-disciplinary teams including teams that have experience planning, designing, and building mixed-income communities.
3. Property Management firm has a minimum of five (5) years' experience servicing all income levels, specifically experience in administering HUD and/or other publicly-funded housing programs managing mixed-income developments, and expert managing the associated compliance and reporting requirements. This experience should also include associated asset management expertise for the long-term operation of the site.

Given the significant importance of this project, the CHA reserves the sole discretion to remove the selected Developer(s), Architect, Property Management Firm, General Contractor, or any other partners in the event of underperformance, failure to meet deadlines, or actions that pose material risks to the project's success.

The Respondent shall submit a narrative outlining its Qualifications and Experience as defined in the evaluation criteria including the following information: (1) the legal name of the firm, (2) a

description of the primary area of expertise of the firm, (3) the names of the firm's principal(s), (4) the address, telephone number and names of individuals to be contacted, (5) the size of the enterprise, (6) all of the firm's registration/license numbers(s) in Illinois, (7) the length of time the firm has worked in its area of expertise generally, and (8) the firm may submit a general brochure of their work.

D. Approach/Work Plan

The Respondent must provide materials and documents including the following:

1. A development project narrative description that outlines its development vision with details on its proposed unit count, income mix, number of rental and for-sale housing units, preliminary unit mix, variation of building types, projected phasing, and any other site amenities.
2. Schematic site plans with landscape, parking spaces/areas, traffic plans, schematics, renderings, and elevations of the potential architectural design of the various building types, and initial floor plans. A City of Chicago Planned Development Zoning Code Analysis form is highly recommended to be completed and submitted (Exhibit VI).
3. The Respondent must provide financing scenarios that include at a minimum the following for the rental and homeownership components:
 - a. development budget detailing proposed deal structuring,
 - b. proposed sources and uses, debt and debt ratio, per unit costs, total development costs (TDC),
 - c. developer compensation structure,
 - d. proposed ownership structure(s),
 - e. permanent and construction budgets
 - f. developer compensation structure
 - g. a timeline for securing the projected funding sources, and 20-year operating Proforma.
4. A narrative of the CHA Return on Investment with a completed ROI Form. Responses under this Solicitation will be rated and scored in part upon the strength of a conceptual approach to structuring such a return on investment and revenue sharing, and its consistency with the long-term affordability of the proposed undertaking.
5. A Management Plan to demonstrate the strategies to achieve and maintain a mixed-income community and provide a quality living environment, including how it will address leasing, occupancy, grievance procedures, maintenance, and security.
6. A Community & Supportive Plan for funding and providing supportive services to support CHA families and promote ongoing participation by residents of all income levels in the new development in community activities.
7. Project schedule with high-level milestones regarding the various tasks and timing necessary to complete the entire proposed redevelopment.

8. A description of the information needed to complete the Scope of Work/Statement of Work if selected, the greatest challenges that may be anticipated with the proposed Scope of Work/Statement of Work, and the proposed strategies to address these issues.

E. Work History with CHA and other Local Public Agencies

The Respondent must list and briefly describe any past work history with CHA and other Local Public Agencies, including the specific project worked on or the specific products delivered to CHA. The project descriptions shall include, at a minimum, the scope of work performed, the location, dollar value, and list the Respondent's key personnel on the project. For each project listed, the Respondent shall provide the client's name, the contact person and their title, address and phone number. Indicate **N/A** if Respondent does not have any work history with CHA and other Local Public Agencies.

F. Past Performance

The Respondent must submit between three (3) and five (5) project descriptions that best demonstrate its capability to perform the proposed Scope of Services and corresponding Statement of Work. Each project description should include, at a minimum, the following details:

- Scope of work and date performed
- Location and brief description of the site
- Gross value at project completion and financial structure
- Ownership chart and development partner list (at least, should include the developer, architect, general contractor, lender/funding provider, and other main roles)
- Timeline (at least, should include the solicitation and selection, key financial resources application and award process, building permit process, closing, construction commencement and completion, leasing-up process, and permanent loan closing)
- Brief description of the environmental work
- Identification of the Respondent's key personnel involved in the project
- Lease commencement dates and the dates to achieve 50%, and 95% occupancy; Occupancy Rates, and Rent Collection Rates for the past three years. If the completed projects are less than three years old, provide the data from the lease commencement date to the present
- Summary of the Management Plan & Community Supportive Service Plan
- Client's name, contact person, title, address, phone number, and email address

The Respondent is encouraged to provide comprehensive information about the processes used to complete these projects, as well as evidence of experience in developments using various financial tools such as LIHTC and TIF, Restore-Rebuild (formerly as Faircloth-to-RAD) or RAD PBV transactions, large urban site developments over multiple phases, mixed-income developments, developments based residential/community engagement, including both rental and for-sale units.

G. References

Proposers are required to provide at least three (3) references, excluding CHA, from within the past three (3) years for projects and areas of responsibility similar to those the Respondent desires to provide herein. Please include company name, contact person, mailing address, telephone number and email address. Please include a brief but detailed explanation of services

provided and submit with your proposal. CHA will email any questions to the references included in your submission. Please inform your references that they will be contacted by CHA. (Attachment C)

H. Organization Structure and Key Personnel

1. The Respondent must provide an organization/structure chart and include its key technical and consulting personnel who will be assigned to the CHA project team along with their resumes. If a Respondent plans to form a joint venture or subcontract with other companies, the organizational chart must reflect these relationships.
2. The Respondent must provide the names and resumes of the principals and program executives from the Developer (s), Architect, Urban Planner, and Property Management Firm who will be accountable for the CHA project. The resumes should detail each individual's education, technical training, and relevant work experience.
3. Key Personnel shall not be replaced without the prior written approval of the CHA. In the event that a developer member of the development team or joint venture withdraws or is otherwise no longer involved in the project, the CHA reserves the right to determine if this change constitutes a material alteration to the proposal. If the change is deemed material, CHA may, at its sole discretion, require a new solicitation process or take other actions deemed necessary to ensure the success and integrity of the project.

I. Insurance Requirements

The Respondent must submit a current certificate of insurance in the form required by this RFP. At the time of contract award, the Selected Respondent shall be required to provide an updated certificate of insurance, and all required endorsements adding CHA and any other required party as an additional insured, meeting the CHA's minimum insurance requirements.

J. Joint Venture Agreement

Firms entering into a joint venture must submit a copy of its joint venture agreement and all required submittals must be signed by a principal of each joint venture partner including, but not limited to, subcontractors' information submittals, and MBE/WBE/DBE and Section 3 Utilization Plans. Indicate **N/A** if Respondent will not be part of a joint venture agreement.

K. Liens, Suits, Disputes, Defaults and Judgments

Respondents shall include a detailed description of any disputes they currently are involved in, as well as, a complete list of any lawsuits, disputes, defaults and judgments occurring within the last five (5) years, and all current liens, lawsuits, disputes, defaults, and judgments pending including Fair Housing claims, regulatory or tax credit violations. Indicate N/A if Respondent does not have any disputes, lawsuits, judgments, disputes, defaults or liens described above.

L. Audit Findings and Other Compliance Reports/Evaluations

Respondents shall submit to CHA's Department of Procurement and Contracts any third party reports or evaluations of Respondent's compliance with any applicable laws, rules, regulations, policies procedures, contract provisions, or requirements with respect to Respondent's

performance of services similar in nature to those being solicited by this RFP in the past five years, including, but not limited to, any and all final findings made by an Office of the Inspector General ("OIG") or Internal Auditor (including those conducted by CHA's Inspector General and/or CHA's Internal Auditor) with respect to Respondent's performance of services, compliance with terms of a contract, findings in an Administrative or Internal Investigation, or any findings of failure to cooperate in an OIG inquiry or with Internal Auditors. Indicate **N/A** if Respondent does not have any findings described above.

M. Debarment Statement

Respondent shall submit a statement that the Respondent, its joint venture partner, if applicable, its subcontractors, vendors and staff are not debarred, suspended or otherwise prohibited from conducting business with any Federal, State or local agency.

N. Economic Disclosure Statement

Respondents must complete the economic disclosure statement and affidavit. The economic disclosure forms must be completed by the Respondent and all subcontractors in its entirety and notarized. Privately held firms and not-for-profit organizations must disclose the board of directors/corporate officers. All firms must disclose the percentage of ownership. Failure to provide complete ownership information may cause your response to be deemed non-responsive.

O. Financial Information

The Respondent/Financially Responsible Party shall demonstrate its financial responsibility by submitting the most recent two years of audited, reviewed or compiled financial statements prepared by a third party licensed Certified Public Accountant (CPA). Listed below are the minimum acceptable required documents based upon the amount of the procurement:

The Respondent must provide Financial Statements, which are compiled, reviewed and/or audited as defined below (which may be subject to different levels depending upon the Respondent's proposal and the projected contract value of the award), and which consist of:

- Accountant's Report
- Balance Sheet (last 2 years)
- Income Statement (last 2 years)
- Cash Flow Statement (last 2 years)
- Financial Statement Footnotes (if applicable)

For proposals or contracts awards valued at less than \$500,000, the Respondent must provide the IRS tax transcript.

For proposals or contract awards valued at less than \$1,000,000 the Respondent must provide complied financial statements.

For proposals or contract awards valued at less than \$2,500,000.00, the Respondent must provide reviewed financial statements.

For proposals or contract awards valued in excess of \$2,500,000.00, the Respondent must provide audited financial statements.

CHA will also evaluate the respondents based upon analysis of third-party reporting agencies, regulatory agencies, bureaus, etc., as it deems necessary to determine the financial adequacy of the respondent entity and confirm that the entity is in good financial standing with governmental agencies.

Other considerations in the evaluation of the financial condition of Respondents follow:

- Financial statements must be from a legal business entity (i.e., corporation, partnership, LLC, etc.). The entity name and address listed on the Financial Report should match the address on file with Dun & Bradstreet report in order for CHA to perform financial review.
- If respondent is not able to provide the Financials 6 months after their fiscal year end, respondents should provide the reason for delay or non-completion.
- Newly created entities (partnerships, LLC's, etc.) must provide financial statements from the entity's general partner and/or any other financially responsible entity that collectively can demonstrate the capability to complete the contract.
- Internally prepared business entity financial reports generated by the respondent will not be accepted.
- Personal financial statements or tax returns will not be accepted.
- CHA reserves the right to request Dun & Bradstreet reports in order to make an award determination. Vendors must provide the address on file with Dun & Bradstreet if it differs from the address listed on the proposal.
- CHA reserves the right to request additional information to complete the financial evaluation and review of any respondents.

P. Vendor Submission Checklist

Refer to Attachment B for all required submittal requirements. The following documents are exhibits to this RFP and can be found at www.thecha.org/doing-business:

- A. Contract Compliance Certification
- B. Letter of Intent-MWDBE and Section 3 Subs
- C. Waiver Request-M/W/DBE (If Applicable)
- D. Submittal Requirements Checklist
- E. Contractor's Affidavit
- F. Statement of Bidder's Qualification
- G. Economic Disclosure Statement
- H. HUD Form 5370 or 5370-C
- I. HUD Form 5369

Proposals not containing all submittal requirements may be deemed Non-Responsive.

ARTICLE VI INSURANCE REQUIREMENTS

Insurance is applicable to All Contracts as approved by CHA Risk Management.

The Contractor shall furnish the Chicago Housing Authority (CHA) with satisfactory evidence (subject to approval from CHA) that it has the following insurance coverage(s). When indicated below, * coverages are required of any vendor delivering equipment, accessing the building, installing/repairing equipment in CHA offices.